



Prickly Nut Cottage
Gainsborough, DN21 3JF
£200,000

**** CASH BUYERS ONLY **** This off grid property is set in just under a 1/2 acre plot and offers two good sized bedrooms, one of which is currently used as a pantry/food store, a living/kitchen area, bathroom and separate compost toilet, greenhouse and workshop.

Ideal for those looking to step out and live a slower pace of life more connected to nature, this home is still ideally situated steps away from acres of forest and within walking distance of a village with many amenities including shops, pubs and small businesses.

The property is of non standard construction, rain water harvesting with a five stage filtration system, electricity is supplied by a solar system providing 240v and 12v electricity, an open fire and a solid fuel Rayburn stove supplying the heating and hot water to the property.

***Scope for development with lapsed planning for a larger residence and stable block (Planning application number 136535)**



Entrance 8'10" x 6'9" (2.71 x 2.08)

Access to the all rooms with a storage cupboards and loft access.

Lounge/Dining Room 9'9" x 17'8" (2.99 x 5.4)

Open plan living/dining room with rear facing window and open fire place.

Kitchen 8'10" x 8'10" (2.71 x 2.7)

Open plan kitchen with front facing window, fitted shelving, Belfast sink unit and Rayburn Royal solid fuel stove and back boiler. Access to the workshop.

Bedroom One 9'9" x 14'1" (2.99 x 4.3)

Double room with fitted with wardrobes, storage and rear facing window.

Bedroom Two 8'10" x 11'1" (2.71 x 3.4)

Double room with fitted cupboards and front facing window.

Bathroom 4'4" x 4'11" (1.33 x 1.5)

Cast iron bath with mixer tap and shower, small basin and 10 litre independent water heater.

W/C 2'9" x 3'11" (0.84 x 1.2)

Compost toilet.

Workshop 19'0" x 8'0" (5.8 x 2.46)

Large workshop/storage area with access to the garden and kitchen.

External

The outside space boasts large mature trees, numerous wood sheds, small pond, hand built wooden cabin and covered veranda. Gated access from a private road with ample space for parking.

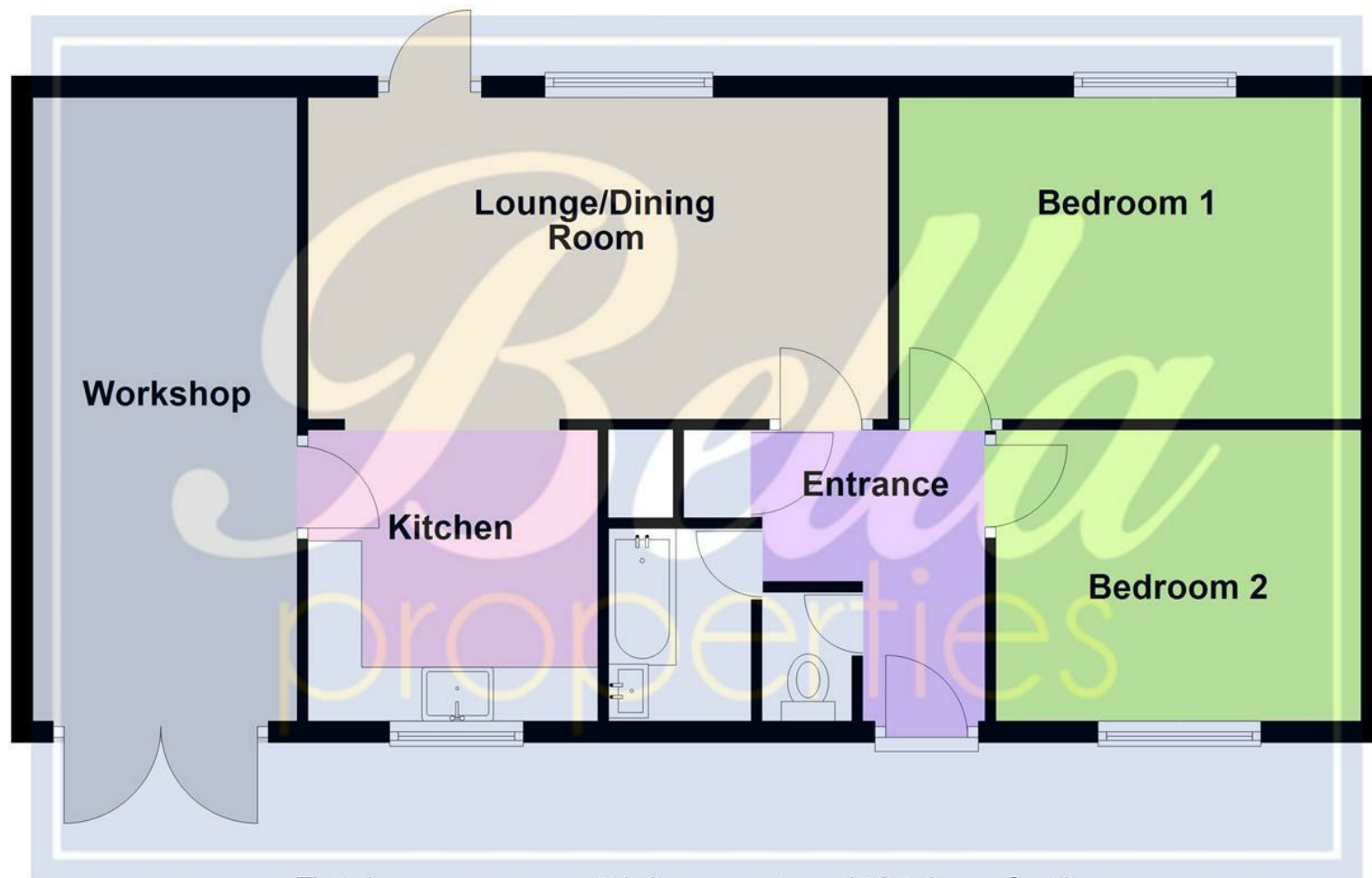
Disclaimer

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Ground Floor



Total area: approx. 71.3 sq. metres (767.6 sq. feet)

Floor plan measurements are approximate and are for illustrative purposes only. While we do not doubt the floor plans accuracy, we make no guarantee, warranty or representation as to the accuracy and completeness of the floor plan. You or your advisors should conduct a careful, independent investigation of the property to determine your satisfaction as to the suitability of the property for your space requirements.

Plan produced using PlanUp.

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales		EU Directive 2002/91/EC
Environmental Impact (CO ₂) Rating		
	Current	Potential
Very environmentally friendly - lower CO ₂ emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
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